


Select if Revised	Roof Replacement					Date: 9/30/2025	
Describe revision, if applicable						Year of First Submittal:	2025
Project Overview:	This project replaces aging roofs at Bethel, Abingdon, and Achilles Elementary Schools, and the School Board Office at T.C. Walker. The existing roofs have exceeded their 10–15 year service life and experience frequent leaks. Proactive replacement will prevent further water damage, reduce maintenance costs, and protect instructional spaces and assets from potential mold and structural issues.						
Requesting Department	Schools	Est. Useful Life	10-15 Years				
Location (address)	TC Walker, Bethel, Abingdon, and Achilles	Start Year	2028				
Magisterial District	Abingdon	Est. Completion Year	Beyond 5 Years				
Annual Recurring Cost	+\$1,001 to +\$10,000	Category	Replacement/Maintenance Plan				
Number of Residents Served		Primary Board Priority	Education				
Expenditure Description	Total Project Request	5-Year CIP					
		Budget Year	Planning Years				Beyond 5 Years
		FY2027	FY2028	FY2029	FY2030	FY2031	FYI only
Land Acquisition	\$ -						
A&E	-						
Construction	10,800,000		3,650,000	3,650,000	2,400,000	1,100,000	
Equipment	-						
Other	-						
Total Proposed Capital Costs	\$ 10,800,000	\$ -	\$ 3,650,000	\$ 3,650,000	\$ 2,400,000	\$ 1,100,000	\$ -
Source of Funding	Total Funding	FY2027	FY2028	FY2029	FY2030	FY2031	Beyond 5 Years
Grant	\$ -						
Donations	-						
Fund Balance-Committed	-						
County Funds	10,800,000		3,650,000	3,650,000	2,400,000	1,100,000	
Total Capital Funding	\$ 10,800,000	\$ -	\$ 3,650,000	\$ 3,650,000	\$ 2,400,000	\$ 1,100,000	\$ -
	Describe Funding Sources (If Not County Funds)						
	Describe Annual Recurring Costs						

Project Element	Total Project Request	5-Year CIP					
		Budget Year	Planning Years				Beyond 5 Years
		FY2027	FY2028	FY2029	FY2030	FY2031	FY1 only
T.C. Walker	\$ 3,650,000		3,650,000				
Bethel	3,650,000			3,650,000			
Abingdon	2,400,000				2,400,000		
Achilles	1,100,000					1,100,000	
	-						
	-						
	-						
	-						
Total Proposed Capital Costs	\$ 10,800,000	\$ -	\$ 3,650,000	\$ 3,650,000	\$ 2,400,000	\$ 1,100,000	\$ -

Describe project elements (if necessary)	Include removal and replacements of existing roofs
<u>Space below is available for any additional details not provided above:</u>	
<u>Project Alternative:</u>	



Gloucester Public Schools



The Garland Company
3800 E. 91st Street
Cleveland, OH 44105

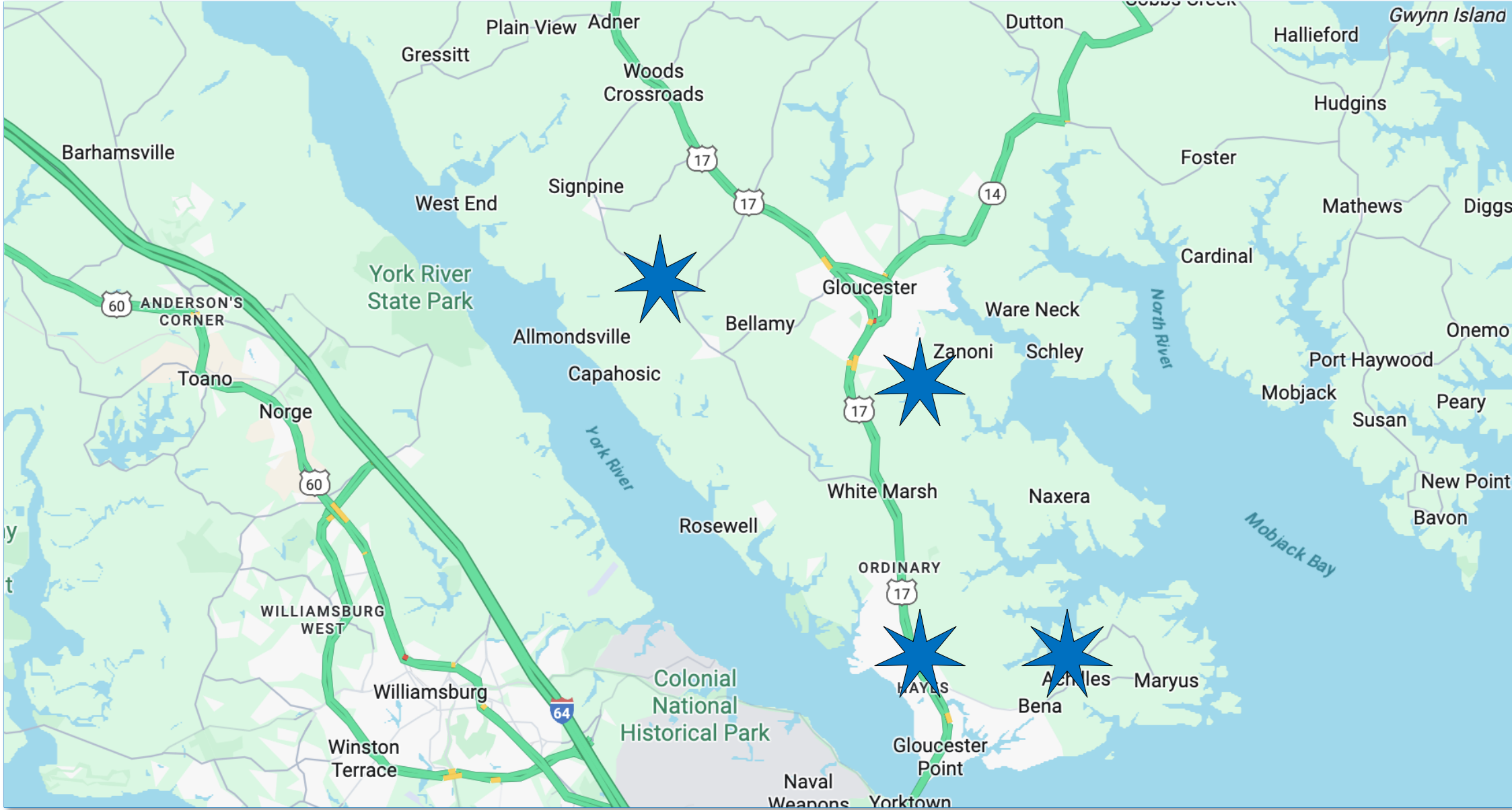
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DIMENSIONS
TO BE VERIFIED

T.C. WALKER EDUCATION CENTER / ABINGDON ELEMENTARY SCHOOL / BETHEL ELEMENTARY SCHOOL / ACHILLES ELEMENTARY

LOCATION:

6099 T.C. WALKER RD, GLOUCESTER, VA / 7087 POWHATAN DR, HAYES, VA / 2991 HICKORY FORK RD, GLOUCESTER, VA / 9306 GUINEA RD., HAYES, VA



INDEX OF DRAWINGS	
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GLOUCESTER PUBLIC SCHOOLS
6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

SHEET TITLE:

COVER

SHEET NO.

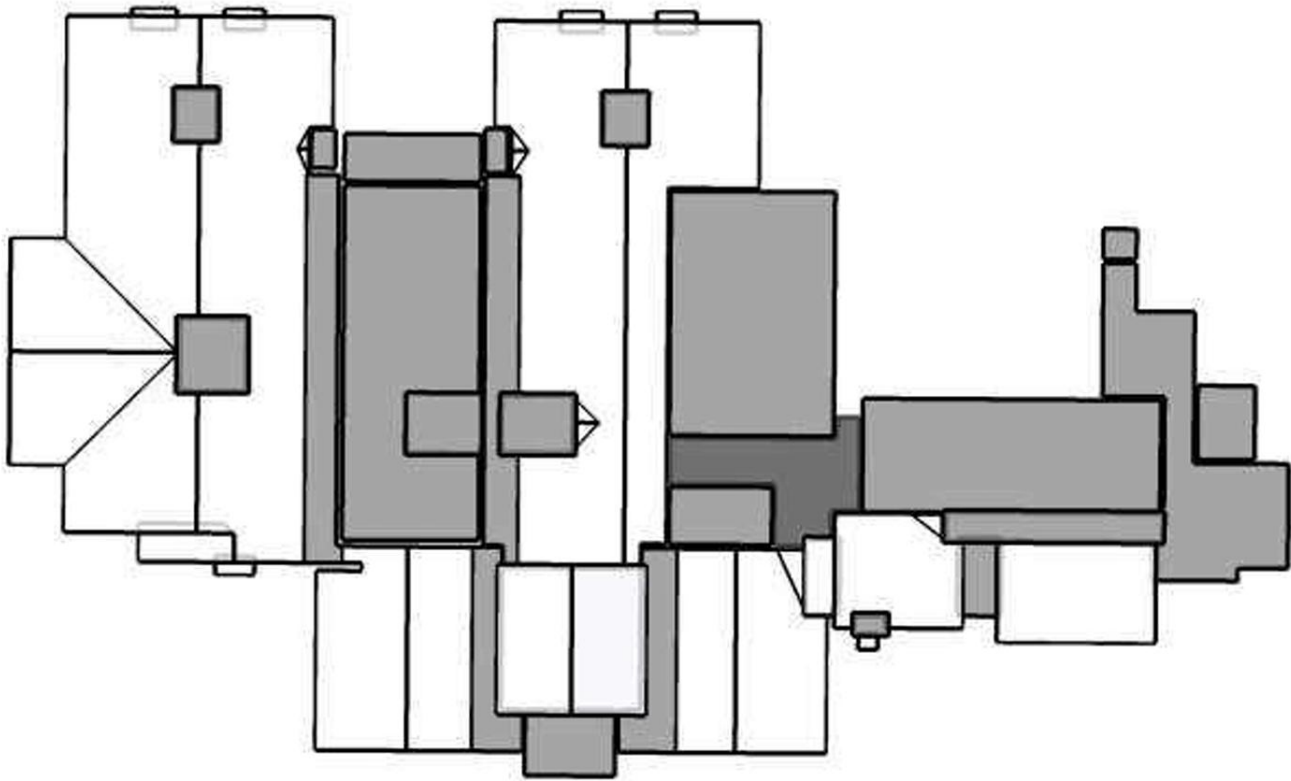
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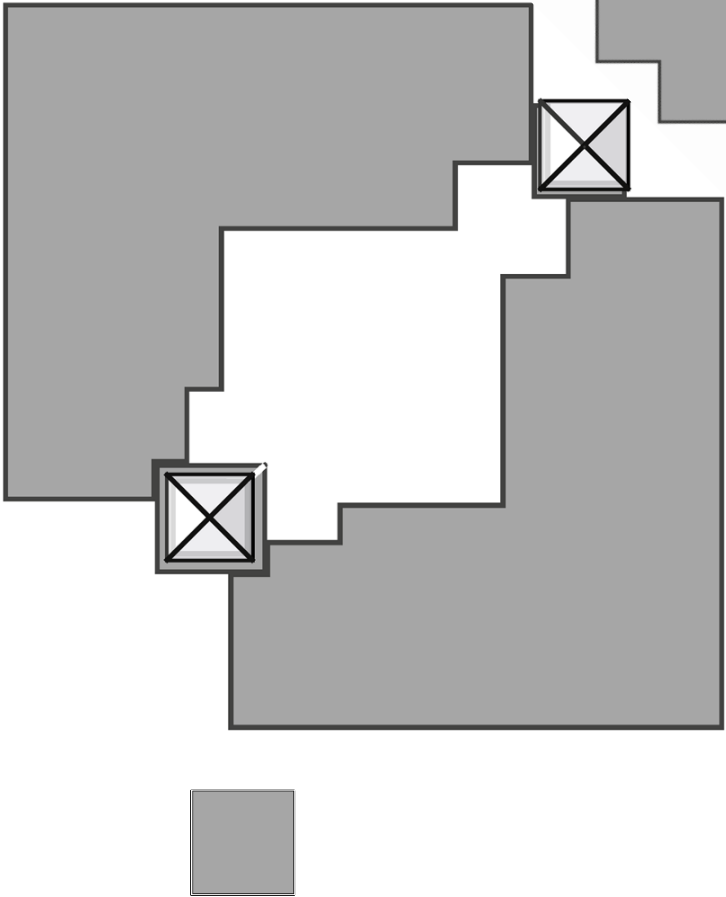
FACILITIES' OVERVIEW

FLAT ROOF SYSTEM
RESTORATION/RECOVER/
REPLACEMENT

ABINGDON ELEMENTARY
SCHOOL



BETHEL ELEMENTARY
SCHOOL



The Garland Company
3800 E. 91st Street
Cleveland, OH 44105

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**DIMENSIONS
TO BE VERIFIED**

GLoucester PUBLIC SCHOOLS
6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

Roof Details	
Total Area:	93,829 sq ft
Total Roof Facets:	54
Predominant Pitch:	1/12
Number of Stories:	<=1
Total Ridges/Hips:	669 ft
Total Valleys:	248 ft
Total Rakes:	976 ft
Total Eaves:	1,610 ft
Total Penetrations:	155
Total Penetrations Perimeter:	1,685 ft
Total Penetrations Area:	2,848 sq ft

Roof Details	
Total Area:	532 sq ft
Total Roof Facets:	1
Predominant Pitch:	0/12
Number of Stories:	<=1
Total Ridges/Hips:	0 ft
Total Valleys:	0 ft
Total Rakes:	0 ft
Total Eaves:	0 ft
Total Penetrations:	3
Total Penetrations Perimeter:	8 ft
Total Penetrations Area:	2 sq ft

Roof Details	
Total Area:	50,590 sq ft
Total Roof Facets:	12
Predominant Pitch:	0/12
Number of Stories:	<=1
Total Ridges/Hips:	195 ft
Total Valleys:	0 ft
Total Rakes:	0 ft
Total Eaves:	1,451 ft
Total Penetrations:	28
Total Penetrations Perimeter:	422 ft
Total Penetrations Area:	991 sq ft

Roof Details	
Total Area:	27,559 sq ft
Total Roof Facets:	9
Predominant Pitch:	0/12
Number of Stories:	>1
Total Ridges/Hips:	18 ft
Total Valleys:	0 ft
Total Rakes:	36 ft
Total Eaves:	395 ft
Total Penetrations:	31
Total Penetrations Perimeter:	535 ft
Total Penetrations Area:	1,237 sq ft

SHEET TITLE:

FACILITY
OVERVIEW

SHEET NO.

A-2

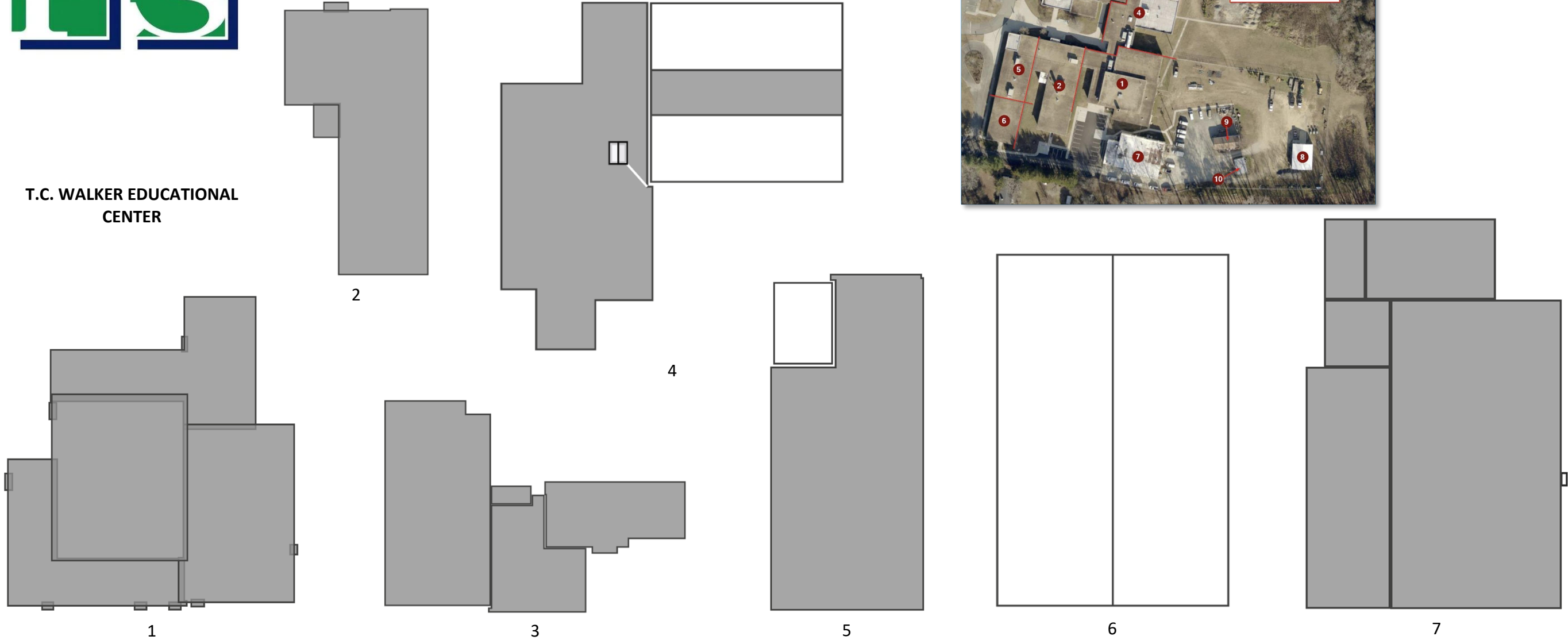


FACILITIES' OVERVIEW

FLAT ROOF SYSTEM
RESTORATION/RECOVER/
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T.C. WALKER EDUCATIONAL
CENTER



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FACILITY
OVERVIEW

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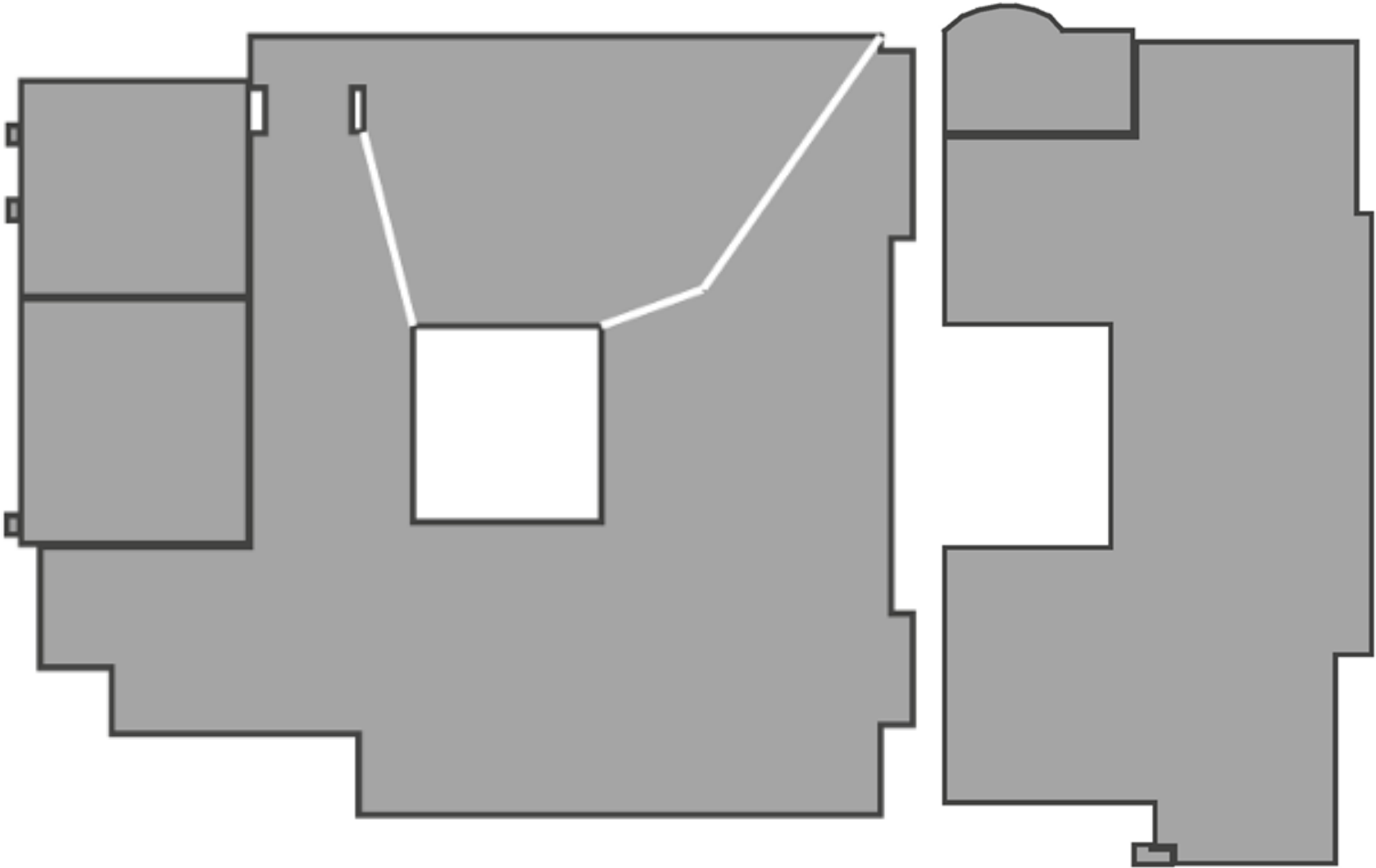
A-3



ACHILLES ELEMENTARY SCHOOL

FACILITIES’ OVERVIEW

FLAT ROOF SYSTEM
RESTORATION/RECOVER/
REPLACEMENT



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3800 E. 91st Street
Cleveland, OH 44105

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DIMENSIONS
TO BE VERIFIED

GLOUCESTER PUBLIC SCHOOLS
6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

Roof Details	
Total Area:	40,731 sq ft
Total Roof Facets:	6
Predominant Pitch:	0/12
Number of Stories:	<=1
Total Ridges/Hips:	0 ft
Total Valleys:	0 ft
Total Rakes:	0 ft
Total Eaves:	34 ft
Total Penetrations:	99
Total Penetrations Perimeter:	814 ft
Total Penetrations Area:	768 sq ft

Roof Details	
Total Area:	20,953 sq ft
Total Roof Facets:	3
Predominant Pitch:	0/12
Number of Stories:	<=1
Total Ridges/Hips:	0 ft
Total Valleys:	0 ft
Total Rakes:	0 ft
Total Eaves:	0 ft
Total Penetrations:	82
Total Penetrations Perimeter:	489 ft
Total Penetrations Area:	503 sq ft

SHEET TITLE:

FACILITY
OVERVIEW

SHEET NO.

A-4



Roof Options and Budgets

****Budgets based on 2025 estimate. All Pricing is Budgetary.
Local Contractor Bidding will Determine Actual Price****

GLOUCESTER COUNTY PUBLIC SCHOOLS



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**DIMENSIONS
TO BE VERIFIED**

ABINGDON ELEMENTARY SCHOOL



Hybrid System (FLAT)

30 Year Warranty
Thermoplastic 2-PLY Hybrid Roof System

\$1.65M – \$1.85M

- Remove existing roof down to the structural deck, replace any deteriorated decking in-kind at unit cost.
- Install new nailable base sheet into tectum deck. Fastening pattern per provided engineered project wind uplift calculations.
- Fasten new base board of Insulation over any metal deck. Fastening pattern per provided engineered project wind uplift calculations.
- Install new tapered Polyiso insulation in insulation adhesive. Average thickness to equal R-30. Ribbon pattern per provided engineered project wind uplift calculations.
- Instal new ½" Densdeck Prime coverboard in insulation adhesive. Ribbon pattern per provided engineered project wind uplift calculations.
- Install torch applied 80 mil sbs modified base sheet
- Install fleeceback 105 mil KEE cap sheet in 2 part foam adhesive.
- Install torch applied sbs modified base flashings.
- Install non-fleece 60 mil KEE cap flashings in 2 part foam adhesive.
- Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.
- Raise all equipment, conduit, perimeter walls, and scupper, as needed to achieve manufacturer required flashing heights.

Hybrid System (METAL)

20 Year Warranty
Thermoplastic Hybrid Roof System

\$1.75M - \$2M

- All units shall be raised to achieve an 8" flashing height over the new roof surface. Contractor is responsible for raising the units including; disconnect / reconnect, crane costs, new curb, etc.
- Units are to have saddles installed on the high side to help with water diversion.
- Loose lay 3" of polyisocyanurate insulation in between the ribs on the existing standing seam system so that it is perfectly flush with the ribs.
- Mechanically fasten 1/2" Dens Deck recovery board through the polyisocyanurate and into the existing standing seam metal. Fastening patterns from the wind uplift calculations are to be used.
- Install KEE LOC membrane in insulation adhesive per specification.
- Install new coping around the perimeter and install slip flashing on the units. It is unknown if there is a wood nailer underneath the coping cap. Contractor to provide a unit cost for the wood nailer, should it be missing.
- Install new gutters and downspouts

****Garland to Provide the Following Services at No Added Cost****

- Roof Design & Project Document Preparation (including: wind-uplift and drainage calculations)
 - Public Bid Management
 - Building Code Review
 - Jobsite Inspections (3 out of 5 project days)
- Ongoing Annual Roof Inspections Over Entire Warranty Period
- Access to Garland's Online Facilities Database (on-site progress reports, job site photos, warranty info, preventative maintenance).

GLOUCESTER PUBLIC SCHOOLS
6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

SHEET TITLE:

**ROOF
OPTIONS /
BUDGETS**

SHEET NO.

A-5



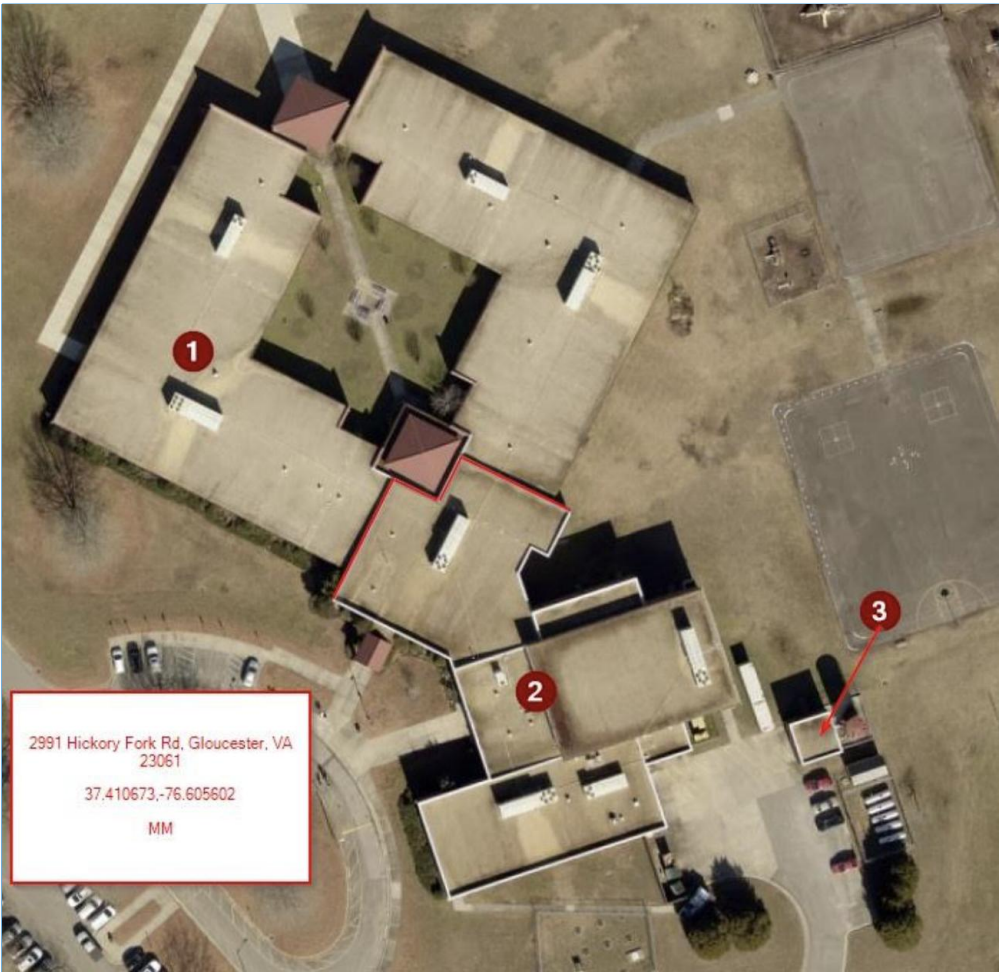
Roof Options and Budgets

****Budgets based on 2025 estimate. All Pricing is Budgetary.
Local Contractor Bidding will Determine Actual Price****

GLoucester Public Schools

Bethel Elementary School

Flat Roof Systems



Coating System

15 Year Warranty
Cool-Sil Eliminator Roof System

\$2M – \$2.5M

-Perform Moisture Survey by a 3rd party IR contractor to determine and locate all wet insulation.
-Remove all loose gravel and clean well. A wet-vac process is the required cleaning method.
-Replace all wet insulation with like in kind insulation board.
-Install new 2-ply Mod/bit flashings along all curbs, parapets, and penetrations.
-Prime the entire roof system with bleed block primer prior to any installation of self leveling coating. Apply Cool-Sil Bleed Block Primer at 1 gallon per 100 sq. ft.
-Apply Cool-Sil Eliminator with a Graco 933 or DUTYMAX GH 675DI Spray Rig at a rate of 8 gallons per 100 sq. ft. depending on surface texture. Use short, overlapping passes to ensure the entire surface is coated and there are no voids in the surface.
-Apply Cool-Sil HB at 2.0 gallons per 100 sq. ft. within 48 hours of Cool-Sil Eliminator curing.

Recovery System

30 Year Warranty
2-ply Recovery Roof System

\$3M – \$3.4M

-Remove existing roof down to existing insulation package, replace any deteriorated insulation in-kind at unit cost.
-Instal new ½” Densdeck Prime coverboard in insulation adhesive. Ribbon pattern per provided engineered project wind uplift calculations.
-Install new SBS modified bitumen base sheet in cold process adhesive.
-Install new SBS modified bitumen mineral surfaced cap sheet in cold process adhesive.
-Install new 2-ply flashings to match associated base sheet and cap sheet.
-Liquid flash all penetrations and drains with 6" Unibond tape LiquidTec.
-Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.
-Raise all equipment, conduit, perimeter walls, and scupper, as needed to achieve manufacturer required flashing heights.

Replacement System

30 Year Warranty
2-ply Replacement Roof System

\$3.3M - \$3.65M

-Remove existing roof down to the structural deck, replace any deteriorated decking in-kind at cost.
-Fastening pattern per provided engineered project wind uplift calculations.
-Install new tapered Polyiso insulation in insulation adhesive. Average thickness to equal R-30. Ribbon pattern per provided engineered project wind uplift calculations.
-Instal new ½” Densdeck Prime coverboard in insulation adhesive. Ribbon pattern per provided engineered project wind uplift calculations.
-Install new SBS modified bitumen base sheet in cold process adhesive.
-Install new SBS modified bitumen mineral surfaced cap sheet in cold process adhesive.
-Install new 2-ply flashings to match associated base sheet and cap sheet.
-Liquid flash all penetrations and drains with 6" Unibond tape LiquidTec.
-Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.
-Raise all equipment, conduit, perimeter walls, and scupper, as needed to achieve manufacturer required flashing heights.

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**DIMENSIONS
TO BE VERIFIED**

GLoucester Public Schools
6099 T.C. Walker Rd,
Gloucester, VA 23061

SHEET TITLE:

ROOF
OPTIONS /
BUDGETS

SHEET NO.

A-6



Roof Options and Budgets

****Budgets based on 2025 estimate. All Pricing is Budgetary.
Local Contractor Bidding will Determine Actual Price****

GLOUCESTER PUBLIC SCHOOLS

T.C. WALKER EDUCATIONAL CENTER

FLAT ROOF SYSTEMS



Replacement System

30 Year Warranty
2-ply Replacement Roof System

\$3.3M - \$3.65M

- Remove existing roof down to the structural deck, replace any deteriorated decking in-kind at cost.
- Install new nailable base sheet into gypsum deck. Fastening pattern per provided engineered project wind uplift calculations.
- Install new tapered Polyiso insulation in insulation adhesive. Average thickness to equal R-30. Ribbon pattern per provided engineered project wind uplift calculations.
- Instal new ½” Densdeck Prime coverboard in insulation adhesive. Ribbon pattern per provided engineered project wind uplift calculations.
- Install new SBS modified bitumen base sheet in cold process adhesive.
- Install new SBS modified bitumen mineral surfaced cap sheet in cold process adhesive.
- Install new 2-ply flashings to match associated base sheet and cap sheet.
- Liquid flash all penetrations and drains with 6" Unibond tape LiquidTec.
- Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.
- Raise all equipment, conduit, perimeter walls, and scupper, as needed to achieve manufacturer required flashing heights.

Hybrid System

30 Year Warranty
Thermoplastic 2-PLY Hybrid Roof System

\$3.3M - \$3.65M

- Remove existing roof down to the structural deck, replace any deteriorated decking in-kind at unit cost.
- Install new nailable base sheet into gypsum deck. Fastening pattern per provided engineered project wind uplift calculations.
- Install new tapered Polyiso insulation in insulation adhesive. Average thickness to equal R-30. Ribbon pattern per provided engineered project wind uplift calculations.
- Instal new ½” Densdeck Prime coverboard in insulation adhesive. Ribbon pattern per provided engineered project wind uplift calculations.
- Install torch applied 80 mil sbs modified base sheet
- Install fleeceback 105 mil KEE cap sheet in 2 part foam adhesive.
- Install torch applied sbs modified base flashings.
- Install non-fleece 60 mil KEE cap flashings in 2 part foam adhesive.
- Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.
- Raise all equipment, conduit, perimeter walls, and scupper, as needed to achieve manufacturer required flashing heights.

****Garland to Provide the Following Services at No Added Cost****

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**DIMENSIONS
TO BE VERIFIED**

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6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

SHEET TITLE:

**ROOF
OPTIONS /
BUDGETS**

SHEET NO.

A-7

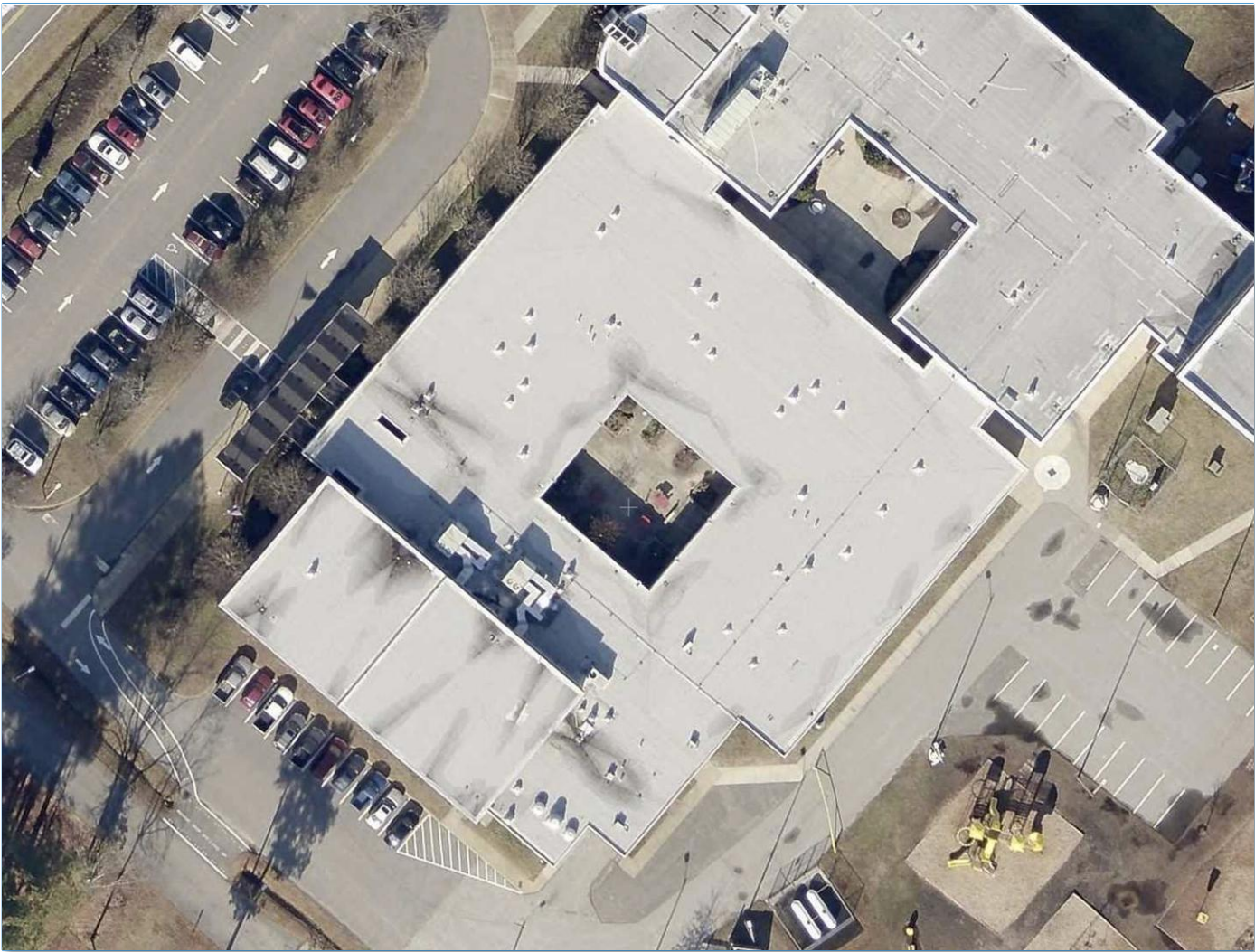


Roof Options and Budgets

****Budgets based on 2025 estimate. All Pricing is Budgetary.
Local Contractor Bidding will Determine Actual Price****

GLOUCESTER PUBLIC SCHOOLS

ACHILLES ELEMENTARY



FLAT ROOF SYSTEMS

Coating System

10 Year Warranty
Partially Reinforced CoolSil

\$450K – \$610K

-All necessary field and flashing repairs must be done including the removal of all wet insulation and defective materials as identified through a moisture detection survey such as an infrared scan and replacement with like-materials.
-All modified bitumen seams must be checked and any loose or damaged seams must be resealed/repaired. Repair blisters, holes, cuts, cracks, splits or other MB surface defects with compatible materials.
-Carefully powerwash all roof surfaces with greater than 2,000 psi pressure to remove debris, rust, scale, dirt, dust, chalking, peeling, flaking coatings, etc.
-Apply Cool-Sil Bleed Block Primer at 1.0 gal/100 sq. ft. (0.41 L/m²) to prevent staining of Cool-Sil coating. Allow to completely dry.
-Reinforce all seams, penetrations, and flashings with “Unibond” reinforced fabric tape and coat with a base coat of CoolSil. Let dry a minimum 12 hours.
-Apply a base coating of Cool-Sil at minimum application rate of 2.0 gal/100 sq. ft. (0.82 L/m²) over the entire roof surface, including all flashings.
-Apply a top coating of Cool-Sil in a perpendicular direction over the base coat at 2.0 gal/100 sq. ft. (0.82 L/m²) for granule modified bitumen.
-Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.

Coating System

15-20 Year Warranty
Partially/**Fully** Reinforced Polyurea

\$650K – \$815K / \$735K – \$900K

-All necessary field and flashing repairs must be done including the removal of all wet insulation and defective materials as identified through a moisture detection survey such as an infrared scan and replacement with like-materials.
-All modified bitumen seams must be checked and any loose or damaged seams must be resealed/repaired. Repair blisters, holes, cuts, cracks, splits or other MB surface defects with compatible materials.
-Carefully powerwash all roof surfaces with greater than 2,000 psi pressure to remove debris, rust, scale, dirt, dust, chalking, peeling, flaking coatings, etc.
-Apply Bleed Block Primer at 1.0 gal/100 sq. ft. (0.41 L/m²) to prevent staining of Liquec coating. Allow to completely dry.
-Reinforce all seams, penetrations, and flashings with “Unibond” reinforced fabric tape and coat with a base coat of Liquec. Let dry a minimum 12 hours.
-Apply a base coating of Liquec at minimum application rate of 2.0 gal/100 sq. ft. (0.82 L/m²) over the entire roof surface, including all flashings.
-Immediately embed 40” wide Grip Polyester Soft reinforcement into wet coating by rolling over the fabric surface to fully saturate and encapsulate, ensuring there are no wrinkles, voids or vertical fibers. [FULLY]
-Apply a top coating of Liquec in a perpendicular direction over the base coat at 2.0 gal/100 sq. ft. (0.82 L/m²) for granule modified bitumen.
-Fabricate & install new perimeter .040 aluminum Kynar coated coping per engineers ES-1 ANSI/SPRI design.

****Garland to Provide the Following Services at No Added Cost****

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**DIMENSIONS
TO BE VERIFIED**

GLOUCESTER PUBLIC SCHOOLS
6099 T.C. WALKER RD,
GLOUCESTER, VA 23061

SHEET TITLE:

ROOF
OPTIONS /
BUDGETS

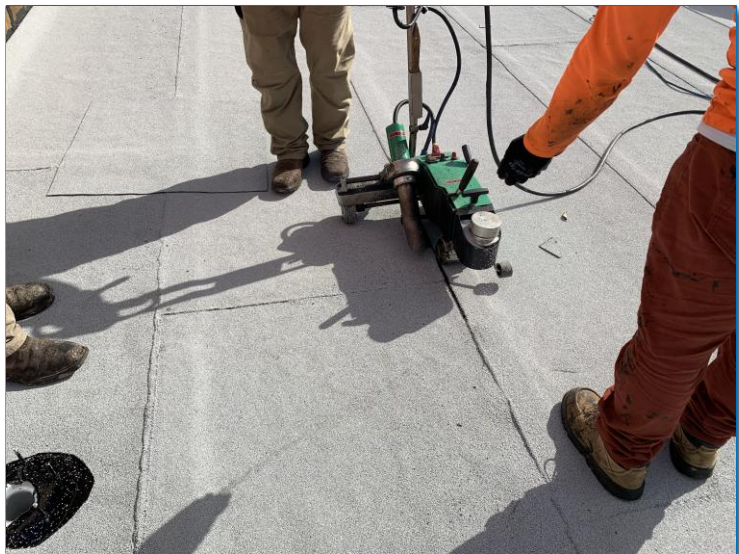
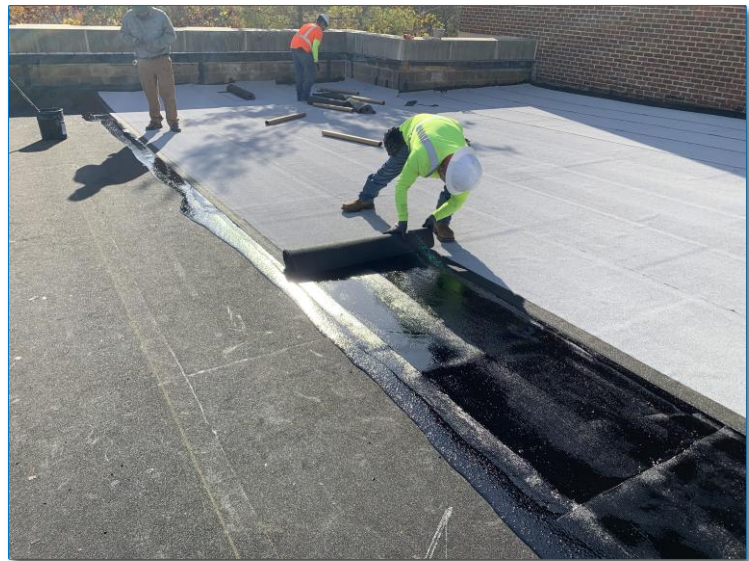
SHEET NO.

A-8



SOLUTION EXAMPLE

30-YR WARRANTY
2-PLY MODIFIED BITUMEN



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**DIMENSIONS
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SHEET TITLE:

EXAMPLES

SHEET NO.

A-9



SOLUTION EXAMPLE

15-YR WARRANTY
COOL-SIL ELIMINATOR
ROOF SYSTEM



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SHEET TITLE:

EXAMPLES

SHEET NO.

A-10



SOLUTION EXAMPLE

30 YEAR WARRANTY
THERMOPLASTIC 2-PLY HYBRID ROOF
SYSTEM



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SHEET TITLE:

EXAMPLES

SHEET NO.

A-11



SOLUTION EXAMPLE

15/30 YEAR WARRANTY
POLYUREA FLUID APPLIED SYSTEM



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SHEET TITLE:

EXAMPLES

SHEET NO.

A-12

